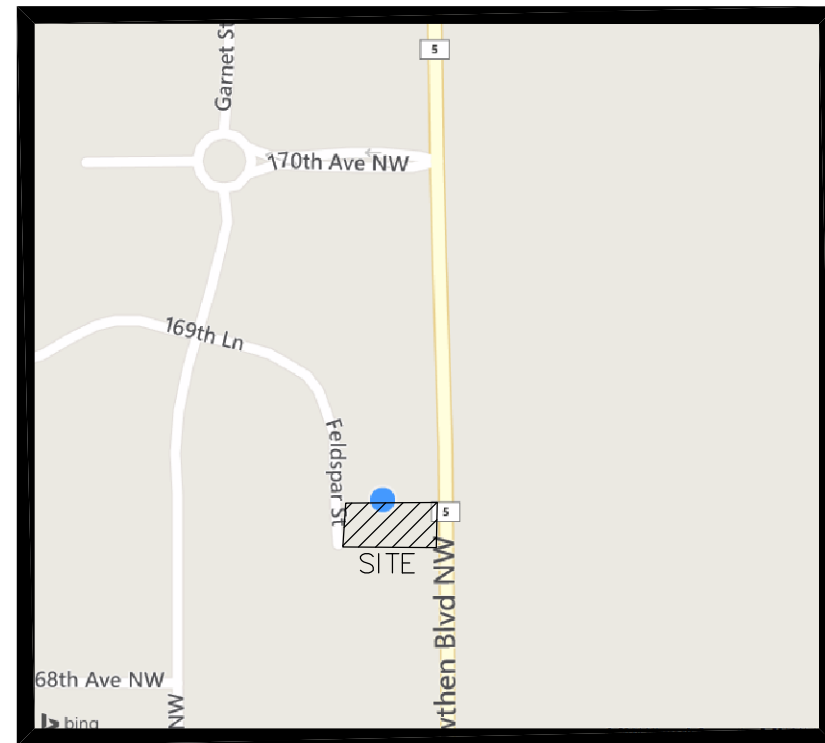


# PRELIMINARY PLAT

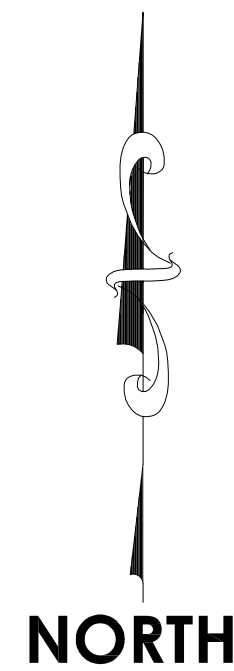
~of~ BROOKFIELD FIFTH ADDITION  
 ~for~ 21ST CENTURY BANK  
 9380 CENTRAL AVENUE NE  
 BLAINE, MN 55434

## VICINITY MAP

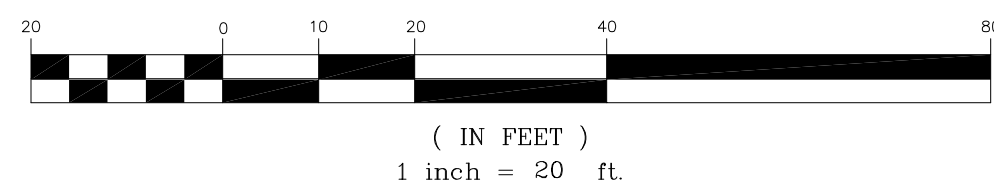
PART OF SEC. 10, TWP. 32, RNG. 25



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)



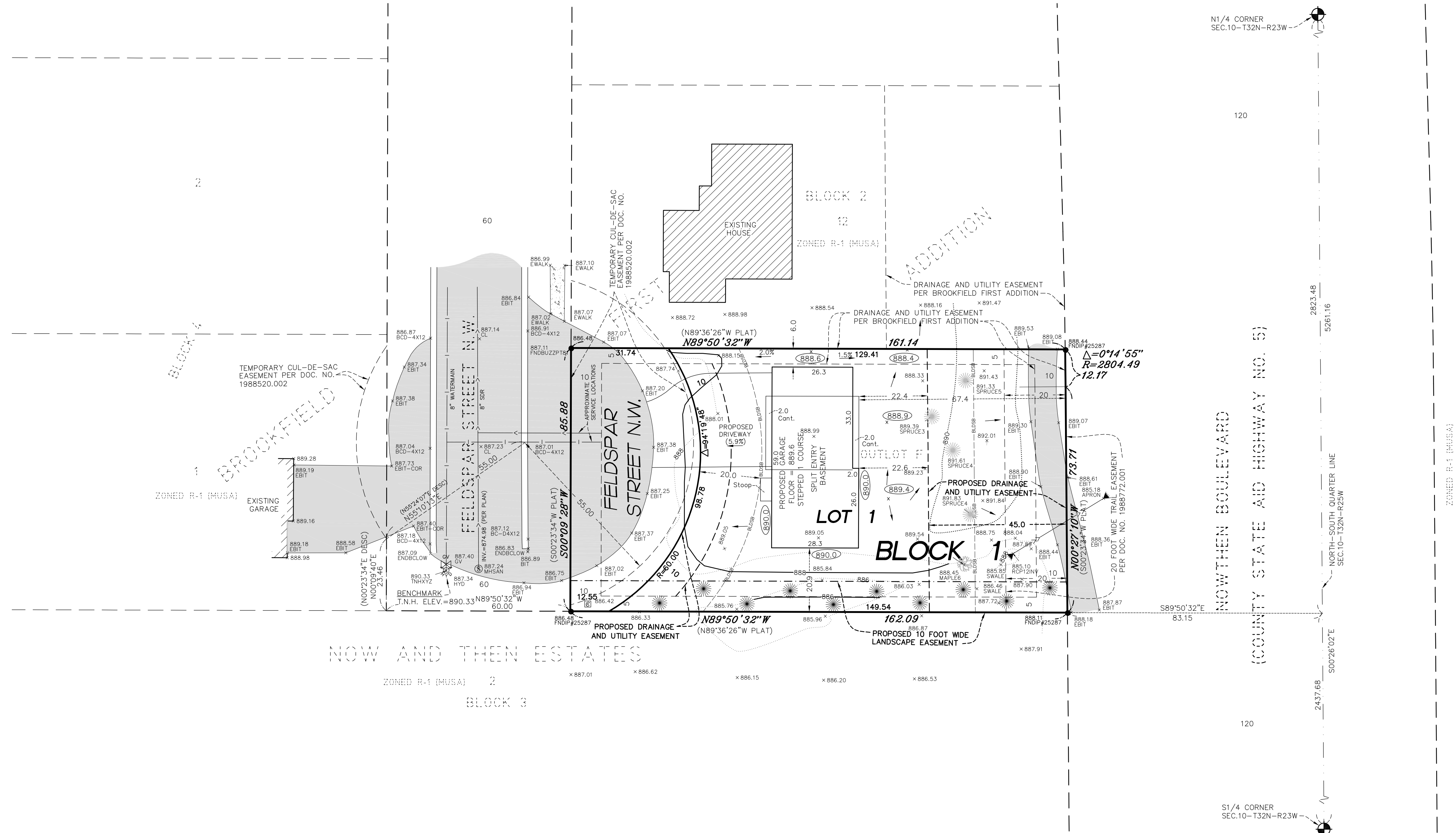
GRAPHIC SCALE



## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- ⊕ DENOTES CABLE PEDESTAL
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES GATE VALVE
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- ▲ DENOTES STORM SEWER APRON
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BUILDING SETBACK LINE
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- DENOTES PROPOSED CONTOURS
- 102.3 DENOTES PROPOSED ELEVATION.
- DENOTES DIRECTION OF DRAINAGE.
- ☀ DENOTES PROPOSED CONIFEROUS TREE PLANTING (SIZE, CALIBER AND SPECIES PER CITY SPECIFICATIONS)

**E. G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



## PROPERTY DESCRIPTION

Outlot F, BROOKFIELD FIRST ADDITION, Anoka County, Minnesota.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 06/17/14 and 8-6-14.
- Bearings shown are on the Anoka County Coordinate System.
- Curb shots are taken at the top and back of curb.
- This survey was prepared based upon Title Commitment File No. 3205-21-2283, prepared by WFG National Title Insurance Company, dated June 25, 2014.

## AREA COMPUTATIONS

TOTAL SITE AREA: 13,881± S.F.  
 PROPOSED SINGLE FAMILY LOT: 10,810± S.F.  
 PROPOSED RIGHT OF WAY: 3,071± S.F.  
 1 PROPOSED SINGLE FAMILY LOT  
 DENSITY: 3.1 LOTS/ACRE

## ZONING AND SETBACKS

CURRENT ZONING IS R-1 RESIDENTIAL (MUSA)  
 PROPOSED ZONING IS R-1 RESIDENTIAL (MUSA)

FRONT SETBACK 35 FEET (FROM BITUMINOUS CUL-DE-SAC) VARIANCE REQUIRED  
 20 FEET (FROM RIGHT-OF-WAY)  
 HOUSE SIDE SETBACK (INTERIOR) 10 FEET  
 GARAGE SETBACK 6 FEET  
 REAR SETBACK 30 FEET

DEVELOPMENT REQUIREMENTS FOR ZONE R-1 RESIDENTIAL (MUSA)  
 MINIMUM LOT AREA 10,800 S.F.  
 MINIMUM LOT WIDTH 80 FEET AT SETBACK LINE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD  
 Date: 1-23-2015 License No. 41578

| NO. | DATE     | DESCRIPTION                  | BY  |
|-----|----------|------------------------------|-----|
| 1   | 08/07/14 | Additional Topo              | JEN |
| 2   | 12/05/14 | Revision per staff meeting   | JEN |
| 3   | 1/05/15  | Revision per city staff      | JEN |
| 4   | 1/23/15  | Rev. Variance per city staff | JEN |