

Garage/Accessory Building Information Sheet

7550 Sunwood Drive NW
Ramsey, MN 55303

Community Development Department

Planning and Zoning Division
Building and Inspection Division
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This pamphlet is a compilation of some of the standard requirements based on the State Building Code and City Zoning Code for projects of this type. This information packet does not contain all of the specific codes for construction and should only be used as a guide. The permittee is responsible to meet all code requirements applicable to each project.

Building Permit Requirements

A. Survey* or scale drawing must be submitted by owner or applicant.

Note: Many existing dwellings have copies of Survey on file and proposed buildings could simply be added to the Survey.

B. Permit application must be completed with description of building size, height of sidewalls, height of roof, and exterior finish material for walls and roof.

C. Separate plumbing, heating and electrical permits are required for each type of work being done

Plan submittals

Two copies of each of the following items must be submitted along with a completed permit application for review. Allow up to 10 working days for permit approval.

Setback requirements

All accessory structures are subject to the specific development agreement for the area or City Code for setbacks from property lines. Additionally; all buildings must be 6 feet minimum from a swimming pool, 10 feet from any septic tank, 20 feet from a drain field, and 3 feet from a well.

On lots less than 2 acres in size, the accessory building shall be located in the side or rear yard and shall not be located nearer the front property line than the principal building on that lot, unless a variance is obtained. This provision shall not apply to attached garages that maintain compliance with the applicable front yard setback requirement.

Accessory buildings shall not be located closer to a side property line adjacent to a public street than the principal structure. Contact the City Planning Division for proper setback requirements in your Zoning District.

Prohibited locations

No garage or accessory building may be located in any easement of record

Driveway Requirement

All accessory buildings constructed with a doorway opening meeting or exceeding eight (8) feet wide by seven (7) feet high shall include installation of a driveway. The driveway must comply with the underlying zoning district standards with one exception. If an existing driveway, which complies with current zoning regulations, is to be extended for the sole purpose of accessing the accessory building, class V gravel shall be permissible

Lot Coverage

City Code requires (for open spaces) that only 35 percent of a property be covered with buildings.

Building Size and Height

No garage, attached or detached, may exceed the height of the dwelling.

The maximum height and square footage of accessory buildings is determined by parcel size. Permitted exterior finishes and other architectural standards are also specified by lot size. In no case shall the overall height of any garage exceed the height of the principal dwelling

Exterior Building Treatment Requirements

A. Attached garages must be constructed of the same materials as the principal structure.

B. Detached accessory structures, in most cases, must be constructed with exterior materials similar to that of the principal structure. For specific requirements contact city staff.

General Design Standards

- A. All accessory structure roofs must be designed for a minimum 35lb per square foot live load and a 10 lb per square foot dead load
- B. Additions to any existing structure which currently has frost footings must also be designed with frost footings.
- C. All frost footings must be 42" deep minimum
- D. All wood in direct contact with concrete or masonry must be pressure treated or of equal decay resistance.
- E. Garage slabs should be designed to be 4 inches thick throughout minimum, with reinforcement
 - * See attached detail drawing for slab-on-grade detached structures
- F. All wall sheathing joints must be on studs, plates or solid 2x blocking and fastened per code. Fiberboard sheathing must be installed with the long direction vertically
- G. Finish grade must slope away from the structure on all sides at a minimum slope of 5%
- H. For heated, accessory buildings; A manufactured ice dam material must be installed 24 inches inside the exterior wall line and be provided with attic ventilation per code
- I. Enclosed attic spaces over 30 inches in height shall be provided with an access opening 22"x 30"

Fire Protection

Attached garages shall be separated from living areas with a minimum of ½" gypsum board on the garage side. This shall extend from the floor to roof sheathing and into soffit areas.

Access from a dwelling to the garage shall consist of a solid wood door of 1-3/8" thick, solid or honeycomb steel door of the same thickness or a labeled 20-minute fire door. No doorway shall open directly from a garage to a sleeping room.

Garage door openers

Automatic garage door openers that are installed, serviced, or repaired must incorporate an edge sensor, safety beam or similar device in compliance with Minnesota Statutes, sections 325F.82 and 325F.83.

Inspections

The type and timing of inspections depend on the project and its complexity. The Building Division will specify the required inspections on the yellow Inspection Card. A day's notice is required for all inspections. You must identify the permit number and address to schedule an inspection. Inspections will only be done Monday through Friday (excluding holidays) from 9:00 am to 3:30 pm. Call 763-433-9850 to schedule all but electrical inspections. Electrical permit questions and inspection requests

are handled by the State of Minnesota Electrical Inspector. Call 320-396-2648 between 7:00 am and 8:30 am.

Construction and Finish

Accessory buildings may be constructed of any material accepted by the Minnesota State Building Code, which is approved to the application and location.

Exterior materials and finish must match or complement the exterior finish of the principal structure in material, color and texture.

Before Excavating

Call Gopher State One Call prior to any digging to verify utility locations. Call 651-454-0002 48 hours in advance of digging.

Framing requirements

The trusses may be of engineered design by an approved manufacturer or hand framed rafters in accordance with Chapter 8 of MSRC.

Attic ventilation

For enclosed garages, attics must be provide with ventilation equivalent to 1/300th of the attic area, equally distributed between soffit vents and high roof or ridge vents.

Flashing

Required over all exterior exposed openings.

Valley Flashing

Minimum 26 gauge galvanized extending at least 12 inches from center line each way. Provide an underlay of not less than 15 pound felt extending 18 inches each way from center line.

Roof starter strip

A manufactured ice dam protection membrane may be required to be installed to a point no less than 24 inches inside the exterior wall line. This product must be installed per the manufacturer's instructions. Start the product at the outer edge of fascia boards.

Other permits

Separate plumbing, heating and electrical permits are required for each type of work being done.

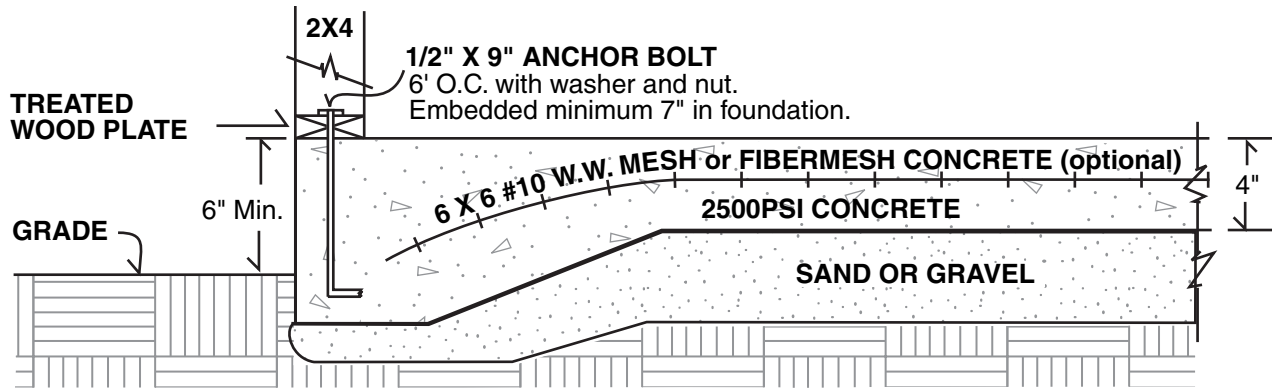
Inspections needed

- Footing:** When footing is excavated and formed or slab is formed and sand cushion and reinforcement are in place but prior to placing concrete.
- Rough-in:** For any plumbing, heating or electrical work that is involved.
- Framing:** When all framing is complete, all mechanical installed and electrical rough-in inspection passed, but before insulating.
- Insulation:** When all wall insulation is in place and ceiling and wall vapor barriers are in place.
- Final:** When all work is complete and before garage is occupied or used for any purpose.
- Note:** If installing a new or additional driveway, a five foot minimum side setback applies and a driveway permit is required. The fee for a driveway permit is \$25.

Questions? Need an inspection?

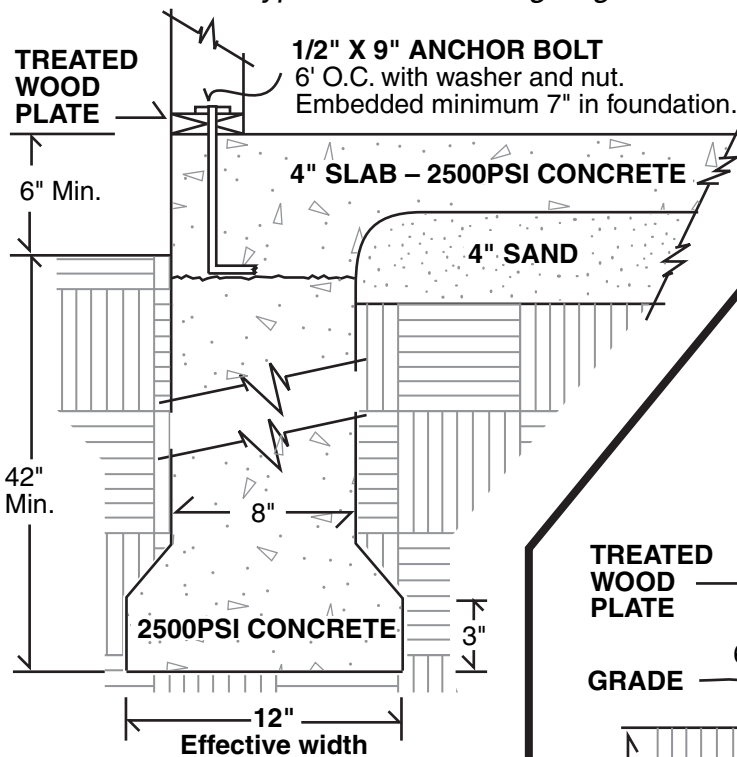
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Slab-on-grade for detached garages



Poured concrete footing and foundation wall

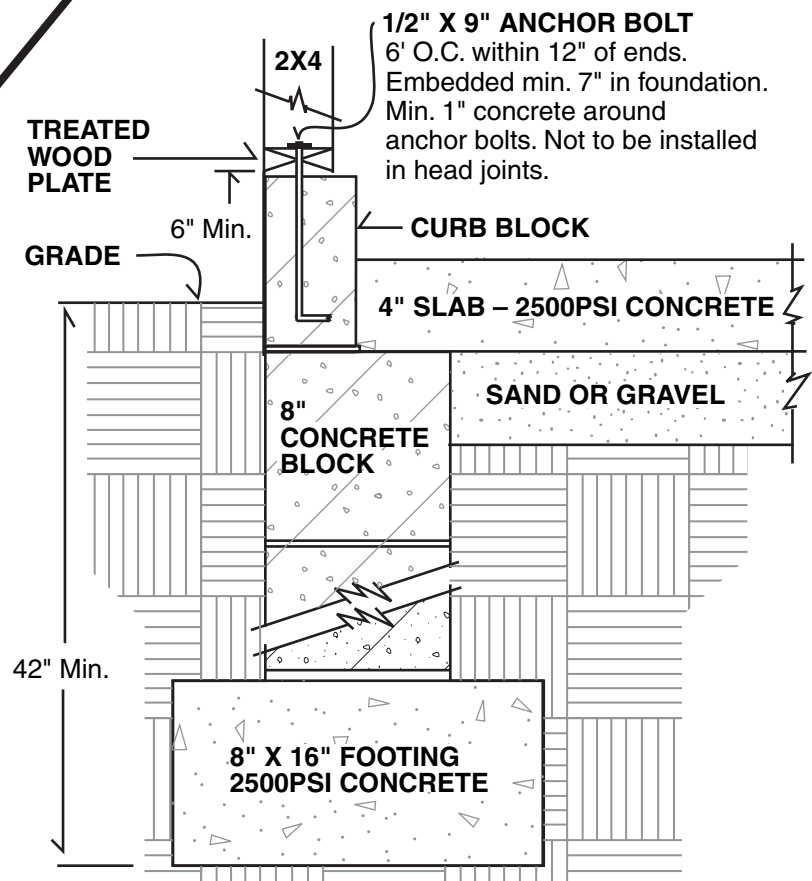
Typical for attached garage



Note: Anchor bolts are a maximum of 6' O.C., 12" within any end *or* splice and minimum two per board.

Concrete block foundation wall on concrete footing

Typical for attached garage



Accessory Building Size Restrictions. Size restrictions and performance standards for accessory buildings in residential districts shall be as follows:

Properties within the MUSA Boundary

Parcel Size (sq. ft. and acres) (excl. road right-of-way)	Maximum Square Footage Allowed for Accessory Buildings ¹ (Excluding Attached Garage)	Maximum # of Acc. Bldgs. Allowed (Excluding Attached Garage)	Exterior Finish Permitted	Architectural Standards Required	Maximum Allowable Height in Feet (one story buildings permitted, two with CUP and 2 acres)
0—21,779 (0 to 0.5 acre)	10% of lot, or 1,500 square feet, whichever is smaller	2	Same general design and materials as home	Soffit, fascia, eave overhang to match home	16
21,780—43,559 (0.5 acre to 1 acre)	1,800	3	Same general design and materials as home	Soffit, fascia, eave overhang to match home	16
43,560—65,339 (1 acre to 1.49 acres)	2,200	3	Same general design and materials as home	Soffit, fascia, eave overhang to match home	16
65,340—87,119 (1.5 to 1.99 acres)	2,400	3	Same general design and materials as home	Soffit, fascia, eave overhang to match home	16
87,120—108,899 (2.0 to 2.49 acres)	2,400	3	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
108,900—152,459 (2.5-3.49 acres)	2,700	3	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
152,460—196,019 (3.5-4.49 acres)	3,000	4	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
196,020—239,579 (4.5-5.49 acres)	3,500	4	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
239,580—283,139 (5.5-6.49 acres)	3,900	4	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
283,140—326,699 (6.5-7.49 acres)	4,300	5	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴

Properties within the MUSA Boundary

326,700— 370,259 (7.5- 8.49 acres)	4,700	5	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
370,260— 413,819 (8.5- 9.49 acres)	5,100	5	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
413,820— 435,599 (9.5 to 9.99 acres)	5,500	5	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
435,600— 871,199 (10 to 19.99 acres)	6,000	6	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
871,200— 1,742,399 (20 to 39.99 acres)	8,000	7	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴
1,472,400 plus (40 acres or more)	12,000	8	Same general design and materials as home or color compatible metal panels ²	Soffit, fascia, eave overhang to match home	22 ⁴

¹ A portion of the square footage allowed for accessory buildings shall be utilized or reserved for a primary garage. The primary garage shall be at least 400 square feet in size.

² If the accessory building is closer to the front property line than the principal building, then the construction must have the same general design and materials as the home.

⁴ If the accessory building is closer to the front property line than the principal building, then the height of the accessory building cannot exceed the height of the principal building or 22 feet, whichever is more restrictive.

Properties outside the MUSA Boundaries (Rural Residential)

Parcel Size (sq. ft. and acres) (excl. road right-of-way)	Maximum Square Footage Allowed for Accessory Buildings ¹ (Excluding Attached Garage)	Maximum # of Acc. Bldgs. Allowed (Excluding Attached Garage)	Exterior Finish Permitted	Architectural Standards Required	Maximum Allowable Height in Feet (one story buildings permitted, two with approval)
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